

CCC Audit - Urban Residential & other Buildings (BCCCC_Res)

Event ID3466873

NotesBC230758175 TOWNSEND ROAD RANGIORA LOT 115

Generated29/10/20245:41:36PM

	Risk		Compliance		Notes
Code Compliance Application					
Form 6, signed and dated	Minor		Pass		BC230758 16.10.2024 received BC#, site address, build completion date, authorisation.LB
	Base Score	1	Actual Score	0	
Inspections					
Final landscaping photos	Moderate		Pass		22/10/24 Passed final inspection. Photos show finished ground level adequate. Ground and paved areas clear of wall cladding base. MM
	Base Score	2	Actual Score	0	
Inspection notes correctly completed and signed off	Moderate		SignedOff		22/10/24 Passed final inspection and no outstanding matters to sign off. MM
	Base Score	2	Actual Score	0	
Smoke alarms	Serious		Pass		22/10/24 Smoke alarms in place as noted by WDC inspector. MM
	Base Score	3	Actual Score	0	
Other Inspection-related items	Moderate		N/A		22/10/24 No other items to consider. MM
	Base Score	2	Actual Score	0	
Consideration of Warnings & Bans (S28)	Moderate		N/A		22/10/24 No issues raised at final inspection. MM
	Base Score	2	Actual Score	0	
As-Built Truss	Moderate		Pass		11.10.2024 received as built truss plans for review .LB;;22/10/24 As built truss plan has been accepted by WMK Inspector and is in TRIM . MM;;
	Base Score	2	Actual Score	0	
Installed Services Sign-Offs					
Heating Unit Installation Sheet	Serious		N/A		22/10/24 Not part of Building Consent. MM
	Base Score	3	Actual Score	0	
Gas Certificate	Serious		N/A		22/10/24 Not part of Building Consent. MM
	Base Score	3	Actual Score	0	
Location Test Certificate (100kg+ Workplaces or 300kg+ other locations) Gas storage	Serious		N/A		22/10/24 Not part of Building Consent. MM
	Base Score	3	Actual Score	0	
Boiler/Diesel Commissioning Report	Serious		N/A		22/10/24 Not part of Building Consent. MM
	Base Score	3	Actual Score	0	
Solar Water Heater Installation Form	Serious		N/A		22/10/24 Not part of Building Consent. MM
	Base Score	3	Actual Score	0	
Electrical Certificate	Moderate		Pass		11.10.24 received electrical certificate fit out .LB;;22/10/24 COC and ESC. Fittings itemised. Correct address, signed and dated by JOSHUA JAMIESON REG # e 254941. Current registration. MM
	Base Score	2	Actual Score	0	
Plumbers Registration Number:	Moderate		Pass		11.10.24 received included in PS3 pipe work testing .LB;;22/10/24 Certifying Plumber Stephen Temple REG #10771 - Current registration. MM
	Base Score	2	Actual Score	0	

	Risk		Compliance		Notes
Plumbing Pressure Test (PS3)	Moderate <i>Base Score</i>	2	Pass <i>Actual Score</i>	0	11.10.24 received PS3 pipe work testing .LB;;22/10/24 PS3 pipework, correct address and BC#, Pressure box ticked and NZBC box ticked - signed and dated by Certifying Plumber Stephen Temple REG #10771 - Current registration. MM
Drainage As-Built Plan	Moderate <i>Base Score</i>	2	Pass <i>Actual Score</i>	0	11.10.24 received as built drainage .LB;;22/10/24 As built, Correct address and BC#, Certifying Drainlayer Brian Norton REG #12037 - Current registration. MM
Drainlayer's Registration Number	Moderate <i>Base Score</i>	2	Pass <i>Actual Score</i>	0	11.10.24 received included in as built drainage .LB;;22/10/24 Certifying Drainlayer Brian Norton REG #12037 - Current registration. MM
Services: Other	Moderate <i>Base Score</i>	2	Pass <i>Actual Score</i>	0	21/02/2024 received nuclear density test DF;;22/10/24 No other services to consider. MM
Surveyor & Engineering Sign					
Surveyor's certificate/s	Serious <i>Base Score</i>	3	Pass <i>Actual Score</i>	0	11.10.24 received verified BLC .LB;;22/10/24 Approved copy of Building Location Certificate for FFL is in the Consent Details folder in TRIM . Inspector confirms siting as part of the Foundation/Compaction Inspection. MM
Engineers site notes	Serious <i>Base Score</i>	3	Pass <i>Actual Score</i>	0	20.2.24 received pre pour .LB 20.2.24 received excavation bearing check .LB;;22/10/24 Engineer's site notes relating to engineer's inspections are in TRIM. Foundation excavations by Elliot Sinclair; Foundation pre dpm and pre-pour: PASS by HFC. ;;Compaction test as hardfill>400mm - Please have engineer confirm they have seen and are happy with the Nuclear Densometer Test as it isn't clear from the PS4 cover letter that this has been considered and accounted for.;;29/10/24 Engineer has confirmed the tests has been considered and compaction level achieved. MM
Engineers PS4	Serious <i>Base Score</i>	3	Pass <i>Actual Score</i>	0	20/03/2024 received DF;;22/10/24 PS4 from HFC Civil and structural for FOUNDATIONS . Correct BC# and Address. BC Clause B1 referenced. Signed and dated by Tomoaki Watanable CPEng #1010912 - current registration. MM
Structural Steelwork PS3	Serious <i>Base Score</i>	3	N/A <i>Actual Score</i>	0	22/10/24 Not part of Building Consent. MM

	Risk		Compliance		Notes
Construction Statements	Moderate		Pass		
	<i>Base Score</i>	2	<i>Actual Score</i>	0	Declaration of Thermal Performance for Windows and Doors document provided by window manufacturer stating Construction R Value installed.(min R0.5);;29/10/24 Statement of Thermal Performance, R0.50 - value matches the consent requirements . Correct address and BC#. Signed and dated by Alison Hamblin W&G association # 282 for Kaiapoi Windows and Doors .MM

LBP Sign-offs

LBP Record of Work - Foundation	Moderate		Pass		11.10.2024 received foundations .LB;;22/10/24 Foundations included under carpentry RoW. MM
	<i>Base Score</i>	2	<i>Actual Score</i>	0	
LBP Record of Work - Carpentry	Moderate		Pass		11.10.2024 received structural carpentry included in foundations .LB;;22/10/24 RoW Carpentry covering wall structure,beams and bracing. Correct address and BC#. Signed and dated by John Baddock BP100213 - current licence. MM;;LBP Memorandum of Building Work for installation of the Roof structure;;22/10/24 RoW Carpentry covering foundations, wall structure Roof structure, beams and bracing, linea wetaherboard cladding. Correct address and BC#. Signed and dated by Grant Smith BP102993 - current licence. MM;;
	<i>Base Score</i>	2	<i>Actual Score</i>	0	
LBP Record of Work - Cladding: Brick	Moderate		N/A		22/10/24 Not part of Building Consent. MM
	<i>Base Score</i>	2	<i>Actual Score</i>	0	
LBP Record of Work - Cladding: Plaster	Moderate		Pass		11.10.2024 received cladx plastering .LB;;22/10/24 RoW AAC Cladding panel system. Correct address and BC#. Signed and dated by Mark Laffey BP126073 - current licence. MM
	<i>Base Score</i>	2	<i>Actual Score</i>	0	
LBP Record of Work - Cladding: Other	Moderate		Pass		LBP Memorandum of Building Work for installation of the Linea weatherboards Cladding system.;;22/10/24 Linea weatherboards Cladding system. included under carpentry RoW. MM
	<i>Base Score</i>	2	<i>Actual Score</i>	0	
LBP Record of Work - Roofing	Moderate		Pass		11.10.2024 received roofing .LB;;22/10/24 RoW Roofing. Correct address and BC#. Signed and dated by Daniel Foster BP116588 - current licence. MM
	<i>Base Score</i>	2	<i>Actual Score</i>	0	

Cladding & Lining Sign-offs

Exterior Tanking PS3	Moderate		N/A		22/10/24 Not part of Building Consent. MM
	<i>Base Score</i>	2	<i>Actual Score</i>	0	
Cladding type/s as per plans	Moderate		Pass		22/10/24 Roof and wall cladding types are as per plans. MM
	<i>Base Score</i>	2	<i>Actual Score</i>	0	

	Risk		Compliance		Notes
Exterior Plaster PS3	Moderate		Pass		11.10.2024 received PS3 cladd plastering .LB;;22/10/24 PS3 for AAC Cladding panel system. Correct address and BC#. Signed and dated by CladXnz, Mark Laffey BP126073 - current licence. MM
	<i>Base Score</i>	2	<i>Actual Score</i>	0	
Membrane Roof - Roof Pitch	Moderate		N/A		22/10/24 Not part of Building Consent. MM
	<i>Base Score</i>	2	<i>Actual Score</i>	0	
Membrane Roof - Installation PS3	Moderate		N/A		22/10/24 Not part of Building Consent. MM
	<i>Base Score</i>	2	<i>Actual Score</i>	0	
Roof Cladding PS3	Moderate		N/A		22/10/24 Not part of Building Consent. MM
	<i>Base Score</i>	2	<i>Actual Score</i>	0	
Cladding: Other - Documentation required	Moderate		Pass		22/10/24 No other documentation required. MM
	<i>Base Score</i>	2	<i>Actual Score</i>	0	
Wet Area Tanking PS3	Moderate		Pass		Int Water proofing membrane certificate required (no inspection, to tiled areas only no showers);;Construction Statement (PS3 Producer Statement) for the installation of interior Wet Area Tanking system/s.;;29/10/24 Owner has confirmed that there was no wet area tanking installed. This were shown under the wall tile in the splashback area around the bath tub (no bath cradle) and vanity. ;;This is a splash area and the tile swithout a waterproofing membrane create an impervious surface, very low risk. his is considered an acceptable solution. Situation encountered in the past and WDC has agreed this is acceptable without an official amendment. SORG MM Owner has acknowledged and confirmed is happy with this .MM
	<i>Base Score</i>	2	<i>Actual Score</i>	0	

System Sign-Offs

Consent Checks

Audit Inspection	Serious		N/A		22/10/24 No further inspections required. MM;;
	<i>Base Score</i>	3	<i>Actual Score</i>	0	
Outstanding amendments/items	Serious		N/A		AMENDMENT BC230758.02 APPROVED - RWH added and bracing updated;;22/10/24 No other outstanding items to consider. MM Form 5 re-issued with Amendment. MM
	<i>Base Score</i>	3	<i>Actual Score</i>	0	
Latest revised construction plans and specifications	Serious		N/A		22/10/24 No revised documentation outstanding. MM
	<i>Base Score</i>	3	<i>Actual Score</i>	0	
Evidence of Ownership required	Moderate		Pass		16.10.2024 Checked ownership in Waimap on receipt of Form 6 - owners matched .LB;;22/10/24 Waimap confirmed. MM
	<i>Base Score</i>	2	<i>Actual Score</i>	0	
S72-73/S75-77 recorded on Record of Title (as applicable)	Moderate		NA		22/10/24 No issues to consider. MM

Fees and Charges

	Risk		Compliance		Notes
Consent fees owed	Serious		Pass		05/03/2024 Reinspection - Structure Pre Roof Pre Wrap;;22/10/24 No current outstanding fees owed (DC's/charges). Auditing time to be determined. MM ;;;
	Base Score	3	Actual Score	0	

Consent Code Compliance S

All documentation trimmed against property folder	Serious		YES		29/10/24 All documents are in TRIM as aware.MM
Ok for issue of Code Compliance Certificate (CCC)	Serious		OkToIssue		22/10/24 do not issue CCC - outstanding RFI items to be resolved.MM;;29/10/24 TECHNICAL DECISION made to issue CCC Ok to send CCC when invoices have been paid if applicable. MM

Technical Review – only app

Outstanding issues from failed or missed inspections have been dealt with

Relevant conditions of the consent have been met

Has confirmed where a compliance shedule is required, Form 7 must include a compliance schedule for specified systems

B2 durability modification identified

Appropriate CCC Audit Checklist has been completed in full & audit items addressed in relation to consent

Checklist RFI
Comments/Justifications are easily understood and can be followed

Reg. 10(3)(d)(iii) The application has been appropriately audited and CCC can be issued

CCC Audit Procedure has been followed. Uses IT systems appropriately i.e. TRIM, TechOne, GoGet

Audit Review Outcome: Issues and Training needs identified (note discussions and actions taken to address these)

Summary

Total Items	54	Total Base Score	97
Total Non-Compliance	0	Total Actual Score	0
Total Serious Non-Compliance	0	Compliance Percentage	100.00%

BUILDING UNIT

Form 6 Application for Code Compliance Certificate

Under The Building Act 2004, Section 92

Please submit the Application for Code Compliance Certificate, when work has been completed, by emailing to: **ccc@wmk.govt.nz**

Office use only - Date Form 6 received:

1. The Building Consent

Building consent number(s) (BC):

Issued by:

Site address: (number/street/road/township)

2. The Owner - All details must be the legal owner's

PLEASE NOTE - This section is only required to be completed if the owner details have changed from the building consent.

No change to details

Name of owner: (include preferred form of address, e.g. Mr, Mrs, Ms, Miss, Dr, if an individual)

Contact person: (not required if the owner is an individual. Must have a New Zealand address)

Mailing address:

Street address/Registered office: (if different than above)

Phone number:

Landline:

Mobile:

Daytime:

After hours:

Fax:

Email:

Website:

As the owner, where you have given authorisation for an Agent to act on your behalf, please confirm if you require a copy of Code Compliance Certificate correspondence: Yes No

The following evidence of ownership is attached to this application - **not required if details have not changed from the building consent:**

Copy of Record of Title OR Council to provide (additional charge of \$15)

(Current within 1 month of being issued and must include a deposited plan [diagram]. Where the Record of Title is not current, Council will provide this [additional charge of \$15 applies]).

Signed copy of Sales and Purchase Agreement (If Record of Title is not issued)

Other document showing full name of legal owner(s) (e.g. Rates Invoice)

3. Agent - Only required when the application is being made on behalf of the owner

PLEASE NOTE - Authorisation is required from the owner of the property

Name of agent:

Contact person: (not required if the applicant is an individual)

Mailing address:

Street address/Registered office: (if different than above)

Phone number:

Landline:

Mobile:

Daytime:

After hours:

Fax:

Email:

Website:

Relationship to owner: (state details of the authorisation from the owner to make the application on the owner's behalf)

PLEASE NOTE - The Agent will be the first point of contact for communications with the Council/Building Consent Authority regarding this application.

4. Application

The following field must be completed when submitting the Code Compliance Certificate application:

All building work carried out under the Building Consent specified in this form was completed on:

Restricted building work

Did the building work include any restricted building work? Yes No

The Licensed Building Practitioner(s) who carried out or supervised the restricted building work is/are as follows:

Licence class	Name	Licensed building practitioner number (or registration number if treated as being licensed under section 291 of the Building Act 2004)	Particular work carried out or supervised
Foundations			
Carpentry			
Exterior Plasterer			
Bricklayer			
Blocklayer			
Roofer			

Key personnel**Builder**

Name:

Reg. No.:

Address:

Phone No.:

Email:

Designer(s)

Name:

Reg. No.:

Address:

Phone No.:

Email:

Certifying drainlayer

Name:

Reg. No.:

Address:

Phone No.:

Email:

Certifying plumber

Name:

Reg. No.:

Address:

Phone No.:

Email:

Certifying gasfitter

Name:

Reg. No.:

Address:

Phone No.:

Email:

Registered electrician

Name:

Reg. No.:

Address:

Phone No.:

Email:

Structural engineer

Name:

Reg. No.:

Address:

Phone No.:

Email:

Specified systems

The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the Building Consent. Tick appropriate specified systems below:

There are no specified systems in the building

- | | |
|--|--|
| SS1 Automatic systems for fire suppression | SS12/1 Audio loops |
| SS2 Emergency warning systems | SS12/2 FM Radio and infrared beam transmission systems |
| SS3/1 Automatic door | SS13/1 Mechanical smoke control |
| SS3/2 Access controlled doors | SS13/2 Natural smoke control |
| SS3/3 Interfaced fire or smoke doors or windows | SS13/3 Smoke curtains |
| SS4 Emergency lighting systems | SS14/1 Emergency power systems |
| SS5 Escape route pressurisation systems | S14/2 Signs for SS1-13 |
| SS6 Riser mains | SS15/1 Spoken information to facilitate evacuation |
| SS7 Automatic back-flow prevention | SS15/2 Final exits |
| SS8/1 Passenger carrying lifts | SS15/3 Fire separations |
| SS8/2 Service lifts | SS15/4 Signs for facilitating evacuation |
| SS8/3 Escalator and moving walks | SS15/5 Smoke separations |
| SS9 Mechanical ventilation or air conditioning systems | SS16 Cable cars |
| SS10 Building maintenance units | |
| SS11 Laboratory fume cupboards | |

I request that you issue a Code Compliance Certificate for this work under section 95 of the Building Act 2004.

The Code Compliance Certificate should be sent to: Owner Agent

I wish to receive my certificate in the following format:

PLEASE NOTE - If hard copy, please confirm if you wish to pick it up from the Council or have it posted.

Hard copy: (post) OR (pick-up) OR Email

Terms of trade

I/We understand that:

Fees associated with the Building Consent shall be paid for i.e. development contributions, amendments, additional inspections, and extensions prior to the issue of Code Compliance Certificate.

All other accounts shall be paid by the 20th day of the month following the month in which the invoice is issued.

I/We agree to pay according to these terms for any goods or services you supply to us. Failure to meet these Terms of Trade may result in any credit arrangement being withdrawn with any balance becoming payable within seven days. Should failure to meet the terms of trade result in debt recovery and/or legal proceedings, any costs whatsoever incurred in the collection of the debt including debt collector's fees and commissions and legal costs, charges and expenses on a solicitor and own client basis will be added to the account and will be payable by me/us.

Application authorisation

By entering your name in the box below you are giving your authority for this application to proceed under Section 92 of the Building Act 2004.

Name:

Date:

I am the: Owner Agent on behalf of, and with the authority of the owner

5. Attachments

The following documents are attached to this application: *(Where applicable)*

Other documents from personnel that carried out the work

Memoranda (records of building work) from licensed building practitioner(s) stating what restricted building work they carried out or supervised

Certificates that relate to the energy work *(e.g. gas and electricity)*

Evidence that the specified systems are capable of performing to the performance standards set out in the building consent

Proof of potability of drinking water from private well, and/or rain water catchment, supply

(Refer to New Zealand Drinking Water Standards 2005)

Important information

All the relevant information on this form is required to be provided under the *Building Act 2004* and/or *Resource Management Act 1991* for the Waimakariri District Council to assess your application. Under these Acts this information has to be made available to members of the public if requested. The information contained in this application may be made available to other units of the Council. You have the right to access the personal information held about you by the Council which can be readily retrieved. You can also request that the Council correct any personal information it holds about you.

Code compliance certificate

A Building Consent is not completed until it has been issued with a Code Compliance Certificate. The owner is required to complete a separate application for a Code Compliance Certificate as soon as practicable after the building work is completed. In any event no later than two (2) years after the granting of the Building Consent, the Council is required to decide whether or not a Code Compliance Certificate can be issued. If your project will not be completed within two years, you may request an extension which will need to be agreed to by Council (fees apply), refer to [building application forms and fact sheets](#).

Inspections

During the process of construction, inspections will be necessary to confirm all work complies with your approved Building Consent documentation. Please phone the Council Building Unit on 03 311 8906 at least **48 hours in advance** of requiring an inspection. Bookings are subject to demand and availability of inspectors, **please be advised that it is not always possible to carry out an inspection within 48 hours**.

The inspections required will be set out in the Building Consent documentation issued by the Council. Failure to have a prescribed inspection carried out may put the issue of the Code Compliance Certificate at risk.

All inspections including re-inspections are subjected to a separate charge, even if carried out on the same day.

Agency

The owner may authorise an agent to submit an application on their behalf.

The Agent will be the first point of contact for all communications with the Council/Building Consent Authority regarding the application for a Code Compliance Certificate under *Section 92 of the Building Act 2004*. They will receive all correspondence and must be authorised by the owner. All amendments require new authorisation.

The owner can elect to receive a copy of correspondence regarding this Code Compliance Certificate in “The owner” section of this application form, or by notifying Council during the Code Compliance Certificate process.

Fees

All work for the issue of a Code Compliance Certificate will be invoiced and needs to be paid in full as described in *Section 95 of the Building Act 2004* before the Code Compliance Certificate can be issued, refer to [building services fees and charges](#).

Notice to fix

If a Notice to Fix is issued, it will state the building work that must be carried out and will set a timeframe in which this work must be completed. Once the work listed has been completed a further inspection needs to be booked by phoning the Council Building Unit on 03 311 8906.



ELECTRICAL CERTIFICATE OF COMPLIANCE & ELECTRICAL SAFETY CERTIFICATE

REFERENCE/CERTIFICATE ID No.:

This form has been designed to be used by licensed electrical workers to certify that installations or Part installations under **Part 1 or Part 2 of AS/NZS 3000** are safe to be connected to the **specified** system of electrical supply.

Location Details:

Contact Details:
(Name and address)

Name of Electrical worker:

Registration/Practising licence number:

Phone & email:

Name and registration number of person(s) supervised:

Certificate of Compliance

Type of work:

☐ Addition

☐ Alteration

☒ New work

The prescribed electrical work is:

☐ Low risk

☐ General

☒ High-risk (Specify):

Means of compliance:

☐ Part 1 of AS/NZS 3000

☒ Part 2 of AS/NZS 3000

Additional Standards or electrical code of practice were required:

☒ No

☐ Yes (specify):

Date or range of dates that prescribed electrical work undertaken:

Contains fittings that are safe to connect to a power supply?

☒

Yes

☐

No

Specify type of supply system:

The installation has an earthing system that is correctly rated (where applicable)

☐

Yes

☐

No

Parts of the installation to which this certificate relates that are safe to connect to a power supply?

☐

All

☐

Parts (specify)

The work relies on manufacturers instructions:

☒

Yes

☐

No

If yes – identify the instruction manual including name, date and version. Also attach a copy of manufacturer's instructions to this certificate.
(Or provide reference to readily accessible electronic format, eg Internet link.)

Identify:

Link:

The work has been done in accordance with a certified design:

☐

Yes

☒

No

If yes – identify the certified design including name, date and version. Also attach a copy of the certified design to this certificate.
(Or provide reference to readily accessible electronic format, eg Internet link.)

Identify:

Link:

The work relies on a Supplier Declaration of Conformity (SDoC):

☒

Yes

☐

No

If yes - identify the SDoC including name, date and version OR EESS registration. Also attach a copy of the SDoC to this certificate.
(Or provide reference to readily accessible electronic format, eg Internet link.)

Identify:

Link:

The installation has been satisfactorily tested in accordance with the Electricity (Safety) Regulations 2010

☐ No

☒ Yes

Description of Work:

Test Results (provide values)

Polarity (Independent earth):	
Insulation resistance:	Ohms
Earth Continuity:	Ohms
Bonding:	Ohms
Fault Loop impedance	Ohms
Other (specify):	

By signing this document I certify that the completed prescribed electrical work to which this Certificate of Compliance applies has been done lawfully and safely, and the information in the certificate is correct.

Certifier's signature:

[Signature]

Date:

Electrical Safety Certificate

By signing this document I certify that the installation, or part of the installation, to which this Electrical Safety Certificate applies is connected to a power supply and is safe to use.

Certifier's name:

Registration/Practising licence number:

Certifier's signature:

[Signature]

Certificate Issue Date:

Connection Date:

CUSTOMER COPY – THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED FOR A MINIMUM OF 7 YEARS

This Electrical Safety Certificate also confirms that the electrical work complies with the building code for the purposes of Section 19(1)(e) of the Building Act 2004.



WAIMAKARIRI
DISTRICT COUNCIL

Private Bag 1005, Rangiora 7440
Ph 03 311 8900, 03 327 6834 Fax 03 313 4432
www.waimakariri.govt.nz

PRODUCER STATEMENT PIPEWORK TESTING

BC No. 230758

Issued by (Plumber):

Steve Temple

For (Owner):

Hayden Badcock

At (address):

175 Townsend Rd

Rangiora

In respect of the testing of water pipe work prior to concealment.

I hereby state that I have personally tested the water pipe work installed in the building authorised under this Building Consent by the method indicated hereunder.

☒ By pressurising the pipe work to 1500 kPa for a period of not less than 15 minutes for the hot and cold water supply and checking to see there are no leaks. (NZBC G12/AS1 7.5.1 (a), (b).)

☐ By pressurising the uPVC pipe work to 1.5 times the maximum working pressure for a period of not less than 15 minutes and checking that there are no leaks. (NZBC G12/AS1 7.5.2, NZS 7643).

Max working pressure was:

☐ By pressurising the pipe work to 1500 kPa for a period of not less than 5 minutes and checking to see there are no leaks. (NZBC G12 VM1, AS3500:Part 1.2 1998)

And believe on reasonable grounds that the pipe work has passed that test.

☒ All work complies with the NZBC

I also understand that Waimakariri District Council in accepting this producer statement will be relying on it to issue the Code Compliance Certificate at the completion of the building work.

SIGNATURE OF LICENSED CERTIFYING PLUMBER:

Signature:

Steve Temple

Registration Number:

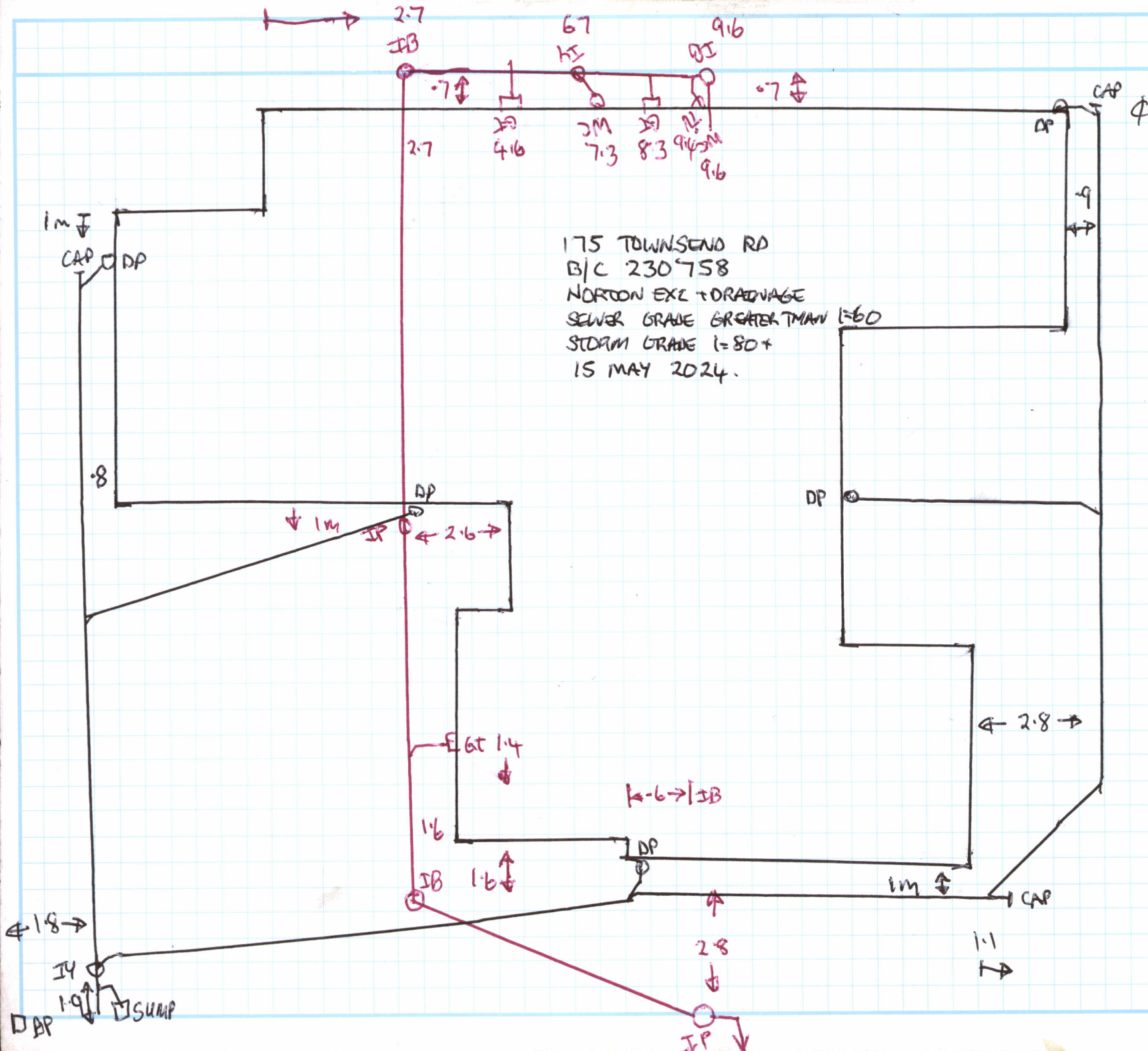
10771

Company Name:

Steve Temple Plumbing

Date:

5/10/24



Building Location Certificate

For guidance on how to complete this certificate, please refer to ccc.govt.nz/building-location-certificates.

Building consent number:	BC230758
Issue date on approved BC document	14/09/2023
Property address:	175 Townsend Road (Lot 115 DP 575822)
Date Survey was undertaken:	27/11/2023
Survey firm name & job reference number	Paterson Pitts Group [#PPGCCH9864]

Certification Stage

This certificate is reviewing Stage 1 of 1 as per the building consent construction documentation and advice notes attached to the building consent

Comments: FFL ONLY BLC

☒ **Building location** ☒ **Floor Level** ☐ **Recession Plane**

Building Location

1. Measured site level origin is in terms of:

☐ Absolute (Local authority datum)

☒ Absolute (LINZ official datum)

☐ Relative (False assumed Datum)

Datum Name: LVD 1937

Origin point: BP 7 DP 529017 (F55J)

Reduced Level: 29.176 (NZVD16 - 28.83)

Site Benchmark Description:

Reduced Level:

☐ Site level origin not provided as building location certificate only for boundary setbacks

2. Are the surveyed building elements in accordance with the dimensions shown on the approved building consent plans (beyond permitted survey tolerances)?

☒ Yes ☐ No

Note: If the answer is 'No' the owner or their agent must contact Council as variations will need to be assessed as a change to the building consent and may require a resource consent. This certificate and attached plan will be used to assist Council in this decision process.

3. Please attach a marked up copy of the relevant approved building consent plans. These marked up plans must align your measured dimensions with dimensions on the approved plans. If the siting of the building is not in accordance with the approved building consent plans, please highlight these departures, provide summary comments below and include photos if relevant to assist the reviewer.

Comments:

FORMWORK FFL LOCATED ON SITE GENERALLY IN ACCORDANCE WITH APPROVED PLANS

28/11/2023 : Verified and Approved FFL only : BO

Declaration

We have been engaged to carry out the necessary field survey(s) to establish the items above and believe on reasonable grounds that the information provided is true and accurate within the survey tolerances prescribed in the Cadastral Survey Rules 2021.

I understand that this certificate will be used by the building consent authority as a reasonable step to ensure that building work is being carried out in accordance with a building consent.

Name of Licensed Cadastral Surveyor: Cory Crawford

License Number: 500953

Signature:



Phone: 03 9281533

Email: cory.crawford@ppgroup.co.nz

Date: 27/11/2023

A copy of this certificate must be sent to the relevant Council

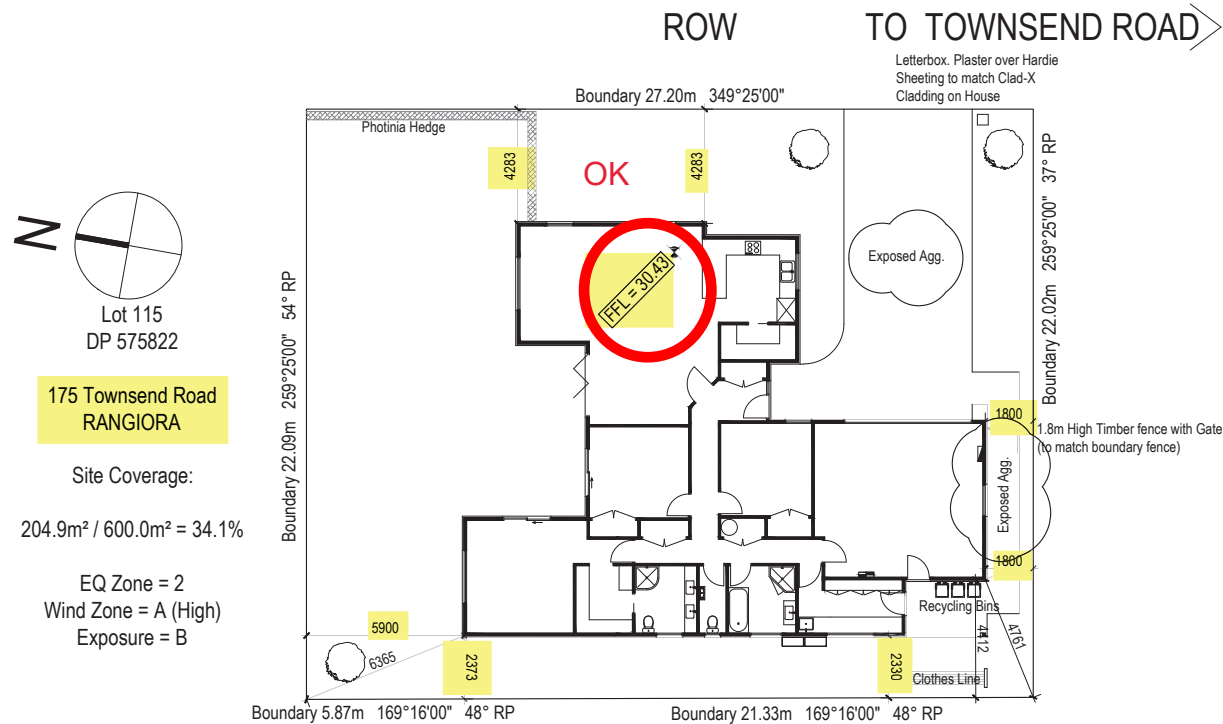
Christchurch: Buildinginspections@ccc.govt.nz

Where a variation to the approved plan is identified, also contact: Dutyplanner@ccc.govt.nz

Selwyn: <https://consents-sdc.abcs.co.nz/> (via AlphaOne Online system)

Waimakariri: buildinginfo@wmk.govt.nz

Hurunui: building@hurunui.govt.nz



NZBC F5: All Construction work on the building shall be performed in a manner that avoids the likelihood of:

- (a) Objects falling onto people on or off the site,
- (b) Objects falling on property off the site,
- (c) Other hazards arising on the site affecting people off the site and other property, and
- (d) Unauthorised entry of children to hazards on the site

ALLOW FOR STEPS OR LANDSCAPING TO ALL EXTERNAL DOORS SO STEP FROM FFL NO GREATER THAN 190mm (150mm min)

Anti-slip: on all access routes both internal & external, provide Anti-slip surface complying with NZBC D1/AS Table 2 (except surfaces in side Entry Doors of housing maybe considered dry areas)

SITE SAFETY

Allow for and maintain

- 2m high galv chainlink netting fencing to street front
- where side fencing not in place use same 2m high fencing
- where water hazards are present use same 2m high fencing

Note: A BUILDING LOCATION CERTIFICATE (BLC) is REQUIRED 2 Working Days BEFORE the PrePour inspection to verify the setout of the Finished Floor Level. The builder is required to tie back this FFL to a known LINZ Survey Mark (revised in January 2018). Please check with your surveyor that referenced Benchmark Datum heights are correct.

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance with the Building Act 2004, clause 49 and the Building Regulations 1992, Clause 3
BC230578 14/09/2023 brennao

a.s.c.a.d. limited ascadltd@snap.net.nz 0272 838 775	job title: BADDOCK - LOT 115	drawing title: SITE PLAN 29/08/23 REV A - Levels updated 11/09/23 REV B - Notes updated	legal description: Lot 115 Townsend RANGIORA	WORKING DRAWINGS SUBJECT TO COUNCIL APPROVAL ALL MEASUREMENTS TO BE CONFIRMED ON SITE BY CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK DO NOT SCALE FROM DRAWINGS UNDER ANY CIRCUMSTANCES	scale: 1:200 Job No.: -	page: 01b of: 25 DATE: 18/07/23
--	--	---	--	---	---	--

1 March 2024

Waimakariri District Council
Private Bag 1005
Rangiora 7440

To Whom It May Concern;

Re:PS4 Construction Review at Lot 115 Townsend Fields – Building Consent BCN 230578 (HFC Job #23-135)

HFC Civil & Structural (South) Ltd were engaged by John Baddock to carry out construction monitoring on the above project. Please find the attached copy of our PS4 – Producer Statement Construction Review for the work completed.

During construction HFC Civil & Structural (South) Ltd representatives have made regular inspections of structural elements listed in our inspection schedule to CM3 level.

Items inspected to this monitoring level included:

Foundation pre pour

Our site inspection records and consultant advice notices issued during the construction stage are also attached to this letter as appropriate.

Based on these inspections, we believe that the construction was carried out in accordance with HFC's consent documentation and site instructions.

Please note that the attached PS4 confirms compliance with HFC's consent documentation / NZBC for inspected items only and does not cover general NZS3604 items that are expected to be inspected by the Territorial Authority. LBP builder is responsible for the installation.

PS4 Limitations about B2 DURABILITY

Please note that direct construction monitoring by HFC Civil & Structural Ltd in relation to Clause B2 (Durability) of the Building Code, for this project, has been limited. This is because material protection is typically carried out by specialist applicators and requires specific quality assurance by the suppliers and/or third-party independent inspectors. Subject to all proprietary products meeting their performance specification requirements we can confirm that in relation to specifically designed structural elements included in the design documentation prepared by the HFC Civil & Structural Ltd, the following relates to B2/Durability applicable to the materials listed :

Material	Means of Compliance	Details
Reinforced concrete	B2/AS1	Compliance with cover and concrete quality requirements for B1 will also imply compliance with B2. Refer to the PS4 for B1.
Structural timber	B2/AS1	The quality of timber treatment is dependent on the QA systems of manufacturers/suppliers. Refer to the contractor's PS3 and QA records.
Mild steel structure	Alternative Solution	The quality of mild steel protective coatings is dependent on: • Steel preparation • Quality and production consistency of the coating products • QA of the application and curing • QA of the handling, protection and repair Refer to: • Contractor's and sub-contractor's PS3s and QA records • Third party inspection and test results • On-going maintenance plan (attached)
Other		

- Weather tightness and waterproofing details and materials are specifically excluded from our PS4
- The Producer Statements issued should not be relied on to establish compliance with the building code clauses E1, E2, E3. Weathertightness and waterproofing design, materials, proprietary products, construction and/or inspections are specifically excluded from these producer statements.
- The durability of structural building work is reliant on protection from external water and moisture being achieved and maintained throughout the life of the building or structure. Protection against external water and moisture is dependent on appropriate detailing, materials, proprietary products and construction practices which HFC does not design/or inspect for compliance with the requirements of the building code.
- HFC accepts no liability in contract, tort, or otherwise (including negligence) for the failure of the building or structure to meet or perform to the requirements of the Building Act 2004 (or any subsequent Act) and any regulations made there under (or any amendment or substitution thereof) in relation to:
 - External water and/or moisture
 - The loss of structural durability or strength to the building or structure as a result of external moisture entering the building or structure, or the effects thereof.

If you have any queries regarding the above, please phone to discuss at your convenience.

Yours sincerely
per: HFC Civil and Structural (South) Ltd



Tom Watanabe
SENIOR STRUCTURAL ENGINEER

BE, ME, CMEngNZ, CPEng(No.1010912), IntPE(NZ)

The letter may accompany Engineering New Zealand/ACE New Zealand Producer Statement PS4(B1) – Construction Review in relation to the Building Work.

Note: This letter shall only be relied on by the Building Consent Authority named in Engineering New Zealand/ACE New Zealand Producer Statement PS4(B1) – Construction Review in relation to the Building Work. Liability under this letter accrues to the Construction Monitoring Firm only. The total maximum amount of damages payable arising from this letter and all other statements provided to the Building Consent Authority in relation to this Building Work whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000.

Structural maintenance schedule

This schedule of ongoing inspection and maintenance of structural elements shall be included with the Operations and Maintenance manuals and provided to the Owner/Body Corporate and building managers.

Inspection/maintenance timeframe and item	
Half-yearly	Wash down all exposed steelwork that is not in a fully interior environment including: • Veranda steelwork • Steel Carpark structure (beams, columns, braces etc) • Deck and balcony steelwork • Exposed façade steelwork, both primary and secondary structure • Plantrooms and plenums with fresh-air intakes • External structural components such as Buckling Restrained Braces, Viscous Dampers, Eccentrically Braced Frames and the like • Sub-ground floor mild-steel structures such as beams, isolation bearings etc.
(b) 5 yearly	Inspect and repair sealant that encloses structural mild-steel components and/or timber with mild-steel fixings
(c) 10 yearly	Check exposed timber fixings for corrosion, repair as required.
	Inspect/replace sealant that encloses structural mild-steel components and/or timber with mild-steel fixings. This will typically include sealants around the perimeter of precast panels. Note that 10 years is the expected useful life for many sealants
	Check exposed structural steel within plantrooms and plenums for corrosion. Repair protective coatings as required.
	Check all exposed steelwork that is not in a fully interior environment for signs of corrosion. Repair protective coatings as required.
	Audit of damage to exposed intumescent coatings. Repair as required.
(d) 25 yearly	Inspect samples of structural steel that is hidden from view but not enclosed within a vapour barrier, and repair protective coatings as necessary. A typical example is a veranda with built-in steelwork. (Such steelwork should typically have duplex protective coatings). Inspection may typically require removal of claddings and/or the drilling of holes for borescope access. Repair as required.
	Inspect all exposed, external timber. Repair as required.
	Inspect all exposed, external reinforced concrete for signs of spalling or cracking. Repair as required.
	Audit of damage to enclosed intumescent coatings. Repair as required.
Following fit-out or alterations	Audit of damage to intumescent coatings. Repair as required.
Following seismic shaking > SLS1 event	Inspections and repair as per b), c) and d) above

PRODUCER STATEMENT – PS4 – CONSTRUCTION REVIEW

(Guidance on use of Producer Statements (formerly page 2) is available at www.engineeringnz.org)

ISSUED BY: HFC: Civil & Structural (South) Limited
(Construction Review Firm)

TO: John Baddock
(Owner/Developer)

TO BE SUPPLIED TO: Waimakariri District Council
(Building Consent Authority)

IN RESPECT OF: Proposed New Residence (Foundation only) - as per PS4 Cover Letter Page 1
(Description of Building Work)

AT: Lot 115 Townsend Fields, Rangiora
(Address)

Town/City: **LOT 115** **DP** **SO**
(Address)

We HFC: Civil & Structural (South) Limited have been engaged by John Baddock
(Construction Review Firm)

To provide ☐ CM1 ☐ CM2 ☒ CM3 ☐ CM4 ☐ CM5 (Engineering Categories) or ☐ observation as per agreement with owner/developer

or ☐ other Level of construction monitoring services
B1/VM1, AS1, VM4 (Extent of Engagement) 1* MBIE "Repairing and rebuilding houses affected by the Canterbury earthquakes"

in respect of clause(s) MBIE guidance document *1 of the Building Code for the building work described in documents relating to Building Consent No. BCN 230578 (HFC Job#23-135) and those relating to Building Consent Amendment(s) Nos. issued during the course of the works. We have sighted these Building Consents and the conditions of attached to them.

Authorised instructions/variation(s) No. Site inspection #01 & CAN 1 (copies attached) or by the attached Schedule ☐ have been issued during the course of the works.

On the basis of ☐ this review ☒ these review(s) and information supplied by the contractor during the course of the works and on behalf of the firm undertaking this Construction Review, I believe on reasonable grounds that

☐ All or ☒ Part only of the building works have been completed in accordance with the relevant requirements of the B1 & B2 as per the attached

Building Consent and Building Consent Amendments identified above, with respect to Clause(s) cover letter of the Building Code. I also believe on reasonable grounds that the persons who have undertaken this construction review have the necessary competency to do so.

I, Tomoaki Watanabe am: ☒ CPEng Reg. No. 1010912 # ☐ Reg Arch #
(Name of Construction Review Professional) Auckland Producer Statement Author Reg. No. 2818

I am a member of: ☒ Engineering New Zealand ☐ NZIA and hold the following qualifications BE, ME, CMEngNZ, CPEng & IntPE
The Construction Review Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*.

The Construction Review Firm is a member of ACENZ: ☐

SIGNED BY: Tomoaki Watanabe (Signature) *Tomoaki Watanabe*
(Name of Construction Review Professional)

ON BEHALF OF: HFC: Civil & Structural (South) Limited Date: 1 March 2024
(Construction Review Firm)

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000.*

This form is to accompany **Forms 6 or 8 of the Building (Form) Regulations 2004** for the issue of a Code Compliance Certificate.

THIS FORM AND ITS CONDITIONS ARE COPYRIGHT TO ACENZ, ENGINEERING NEW ZEALAND AND NZIA

GUIDANCE ON USE OF PRODUCER STATEMENTS

Producer statements were first introduced with the Building Act 1991. The producer statements were developed by a combined task committee consisting of members of the New Zealand Institute of Architects, Institution of Professional engineers New Zealand (now Engineering New Zealand), Association of Consulting Engineers New Zealand in consultation with the Building Officials Institute of New Zealand. The original suit of producer statements has been revised at the date of this form as a result of enactment of the Building Act (2004) by these organisations to ensure standard use within the industry.

The producer statement system is intended to provide Building Consent Authorities (BCAs) with reasonable grounds for the issue of a Building Consent or a Code Compliance Certificate, without having to duplicate design or construction checking undertaken by others.

PS1 Design Intended for use by a suitably qualified independent design professional in circumstances where the BCA accepts a producer statement for establishing reasonable grounds to issue a Building Consent;

PS2 Design Review Intended for use by a suitably qualified independent design professional where the BCA accepts an independent design professional's review as the basis for establishing reasonable grounds to issue a Building Consent;

PS3 Construction Forms commonly used as a certificate of completion of building work are Schedule 6 of NZS 3910:2013 or Schedules E1/E2 of NZIA's SCC 2011²

PS4 Construction Review Intended for use by a suitably qualified independent design professional who undertakes construction monitoring of the building works where the BCA requests a producer statement prior to issuing a Code Compliance Certificate.

This must be accompanied by a statement of completion of building work (Schedule 6).

The following guidelines are provided by ACENZ, Engineering NZ and NZIA to interpret the Producer Statement.

Competence of Design Professional

This statement is made by a Design Firm that has undertaken a contract of services for the services named, and is signed by a person authorised by that firm to verify the processes within the firm and competence of its designers.

A competent design professional will have a professional qualification and proven current competence through registration on a national competence based register, either as a Chartered Professional Engineer (CPEng) or a Registered Architect.

Membership of a professional body, such as Engineering New Zealand (formerly IPENZ) or the New Zealand Institute of Architects (NZIA), provides additional assurance of the designer's standing within the profession. If the design firm is a member of the Association of Consulting Engineers New Zealand (ACENZ), this provides additional assurance about the standing of the firm.

Persons or firms meeting these criteria satisfy the term "suitably qualified independent design professional".

*Professional Indemnity Insurance

As part of membership requirements, ACENZ requires all member firms to hold Professional Indemnity Insurance to a minimum level.

The PI Insurance minimum stated on the front of this form reflects standard, small projects. If the parties deem this inappropriate for large projects the minimum may be up to \$500,000.

Professional Services during Construction Phase

There are several levels of service which a Design Firm may provide during the construction phase of a project (CM1-CM5 for Engineers³). The Building Consent Authority is encouraged to require that the service to be provided by the Design Firm is appropriate for the project concerned.

Requirement to provide Producer Statement PS4

Building Consent Authorities should ensure that the applicant is aware of any requirement for producer statements for the construction phase of building work at the time the building consent is issued as no design professional should be expected to provide a producer statement unless such a requirement forms part of the Design firm's engagement.

Attached Particulars

Attached particulars referred to in this producer statement refer to supplementary information appended to the producer statement.

Refer Also:

- 1 Conditions of Contract for Building & Civil Engineering Construction
NZS 3910: 2013
- 2 NZIA Standard Conditions of Contract SCC 2011
- 3 Guideline on the Briefing & Engagement for Consulting Engineering Services
(ACENZ/IPENZ 2004)
- 4 PN Guidelines on Producer Statements

www.acenz.org.nz
www.engineeringnz.org
www.nzia.co.nz



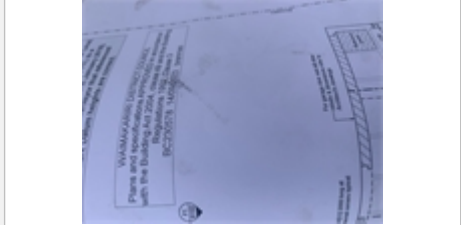
To Kāhui
Whaihanga
New Zealand
Institute of
Architects

WAFFLE SLAB INSPECTION

HFC: Civil and Structural Sth Ltd



HFC | GROUP
SMART STRUCTURAL SOLUTIONS

Date	04-Dec-2023	Time	13:47
Address	Lot 155, Stage 3, Townsend Fields, Rangiora		
Inspection Carried Out By Group:	HFC: Civil and Structural Sth Ltd		
Pre-pour Inspection			
HFC JOB NUMBER:	23-135		
BC NUMBER:	230578		
WEATHER:	Overcast		
WIND:	Gentle		
CONTRACTOR:	John Baddock		
INSPECTOR:	Sithum Jayatilleke		
EMAIL RECIPIENTS:	john.baddock@outlook.com		
Next Inspection	No further inspections by HFC		
REPORT STATUS:	OK TO PROCEED SUBJECT TO INCORPORATION OF NOTES		

REFERENCE DRAWINGS:		
23-135 A		

F3 detail - Contractor photos received - 14/01/2024

PRE-POUR WAFFLE INSPECTION

CUT BUILDING PLATFORM

BY OTHERS

Yes

CHECKED BY HFC AND APPROVED

No

Note: By others

MESH AND SLAB INTERIOR

SLAB TOPPING THICKNESS CHECK

Yes

CORRECT POD SIZE AND SET OUT

Yes

DIAGONAL BARS AT RE-ENTRANT CORNER

Yes

CORRECT MESH SIZE

Yes

CORRECT COVER TO MESH & SUFFICIENT CHAIRS

Yes

CORRECT SIZE / SPACING OF PERIMETER STARTERS

Yes

LOAD BEARING SLAB THICKENINGS CORRECT REBAR AND SET OUT

Yes

PERIMETER FOUNDATIONS

COVER TO SIDE, BOTTOM TOP OK

Yes

REINFORCEMENT CORRECT

Yes

NOTES AND REMEDIAL DETAILS

GENERAL NOTES

a. It is the contractors responsibility to ensure correct curing procedures are adopted based on the required finish, weather conditions and the concrete mix. HFC accepts no responsibility for shrinkage cracking due to pour curing or concrete placement techniques

b. The contractor is to ensure that all additional work requested on the site inspection form are carried out prior to pouring concrete or continuing on with follow on work.

c. The contractor is to ensure that at the time of placing concrete the dpm and reinforcement is clean and the area is free of construction offcuts and other rubbish.

d. It is the contractor's responsibility to confirm any conditions of consent and to ensure that HFC have been called to inspect all relevant portions of work. PS4's may not be issued if sufficient inspections have not been carried out.

e. Set out all load bearing thickenings to be based on architectual dimensions and is the responsibility of the contractor.

For Rebate and dimensions - Architect's drawings to be followed

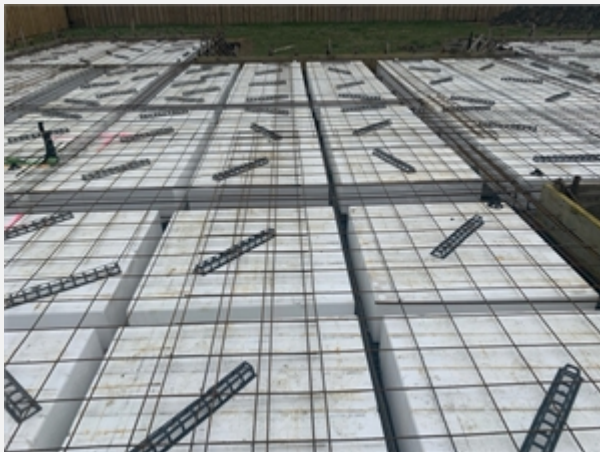
Contractor to maintain 30-40mm top cover to mesh.



View of F1 detail



View of F2 details (Contractor confirmed to have replaced pod rails with standard mesh chairs G25/40 - photos received)



Contractor confirmed to have replaced pod rails with standard mesh chairs G25/40 - photos received



View of SE62 mesh

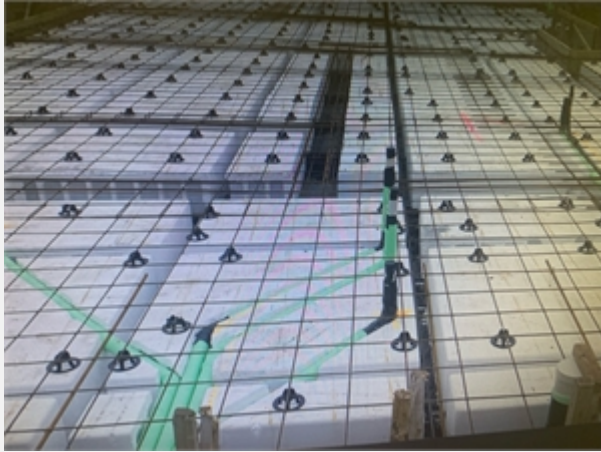


View of excavation for F3 detail (600x600mm)



View of reinforcement detail for F3 detail - U bars each

way and bracket along with reinforcement cage to be placed within excavation prior to exterior post hole pour



Contractor confirmed to have replaced pod rails with standard mesh chairs G25/40 - photos received 05/12/2023



Contractor confirmed to have replaced pod rails with standard mesh chairs G25/40 - photos received 05/12/2023

Gilmax

Inspector: Sithum Jayatilleke

Contractor: John Baddock

F3 detail - Contractor photos received - 14/01/2024





Consultant Advice Note 001

Company: Eliot Sinclair and Partners Limited

Project number: 521094

To: John Baddock <john.baddock@outlook.com>

Date: 05 October 2023; 11am

CC:

Project Name: 175 (Lot 155) Stage 3, Townsend Fields, Rangiora

John,

At time of inspection, all topsoil was excavated across the building platform area which extends onto firm insitu clayey SILT approximately 0.4m below surrounding ground level.

X2 DCPs and hand probing across the topsoil stripped subgrade infer geotechnical ultimate bearing resistances >200kPa.

We understand ~400mm of compacted hardfill is to be placed and compacted across the stripped subgrade. Imported AP40 sandy gravels are to be placed and compacted in maximum 200mm thick layers to achieve a dry density of at least 2150kg/m³.

- **We require Nuclear Densometer (NDM) tests to be carried out across the final compacted gravel layer to confirm an adequate level of compaction has been achieved.**
- **Please issue all NDM results for review and approval before construction of the foundation proceeds.**



Regards,

Peter Ngenang

Geotechnical Engineer

NZDE Civil MEngNZ

Note: No dimensions were reviewed as part of the site observations undertaken by Eliot Sinclair. Quality Control and dimensional set out remain the responsibility of the Contractor.

TEST REPORT

PRELIMINARY

Lab Job No.: 8409-013
Your Ref.: -
Date of Issue: 06/10/2023
Page: 1 of 3

Test Report.

No. CHC8409-013-R001

PROJECT: 175 Townsend Road, Rangiora
CLIENT: Norton Excavation and Drainage
1 Bridget Lane
Waimakariri
Rangiora 7400
ATTENTION: Brian Norton
INSTRUCTIONS: Determination of the field dry density & water content using a nuclear densometer – Backscatter mode
TEST METHODS: NZS 4407: 2015 Test 4.3
SAMPLING METHOD: N/A
TEST RESULTS: As per laboratory sheets attached.

Laboratory Technician

Approved Signatory

- CPT - Aggregates - Soil - Roding -

This report shall not be reproduced except in full, without the written approval of the laboratory.



TEST RIGHT • BUILD RIGHT

NUCLEAR DENSOMETER READINGS

NZS 4407:2015 Test 4.2, 4.3

18B Birmingham Drive,
Christchurch,
M:0276565317
E:info@geocivil.co.nz

Lab Job No: 8409-013
Client: Norton Excavation and Drainage
Job: Compaction Testing
Location: 175 Townsend Road, Rangiora
Client Ref. No.: -
Report No.: CHC8409-013-R001

Tested By: R.P
Date: 6/10/2023

PRELIMINARY

Test Location: 01- Foundation

Material: AP40 - Robertson Contracting

Quarry: Robertson

Solid Density (assumed): 2.68 (t/m³)Max. Dry Density (calculated): 2.16 (t/m³)

OWC: 4.20 %

Date	Test No.	Bulk Density (t/m ³)	Dry Density (t/m ³)	Moisture Content (%)	Air Void (%)	Compaction (%)	Probe Depth (mm)	Fill Depth (Approx) (mm)	Comments
6/10/2023	01	2.32	2.17	6.9	4	100	BAC	400	
	02	2.25	2.10	7.3	6	97	BAC	400	
	03	2.24	2.12	5.7	9	98	BAC	400	
	04	2.20	2.08	5.9	10	96	BAC	400	
	05	2.34	2.20	6.7	3	102	BAC	400	
	06	2.29	2.17	5.6	7	100	BAC	400	
	07	2.35	2.21	6.1	4	102	BAC	400	
	08	2.27	2.14	6.0	7	99	BAC	400	
	09	2.27	2.13	6.7	6	98	BAC	400	

Remarks:

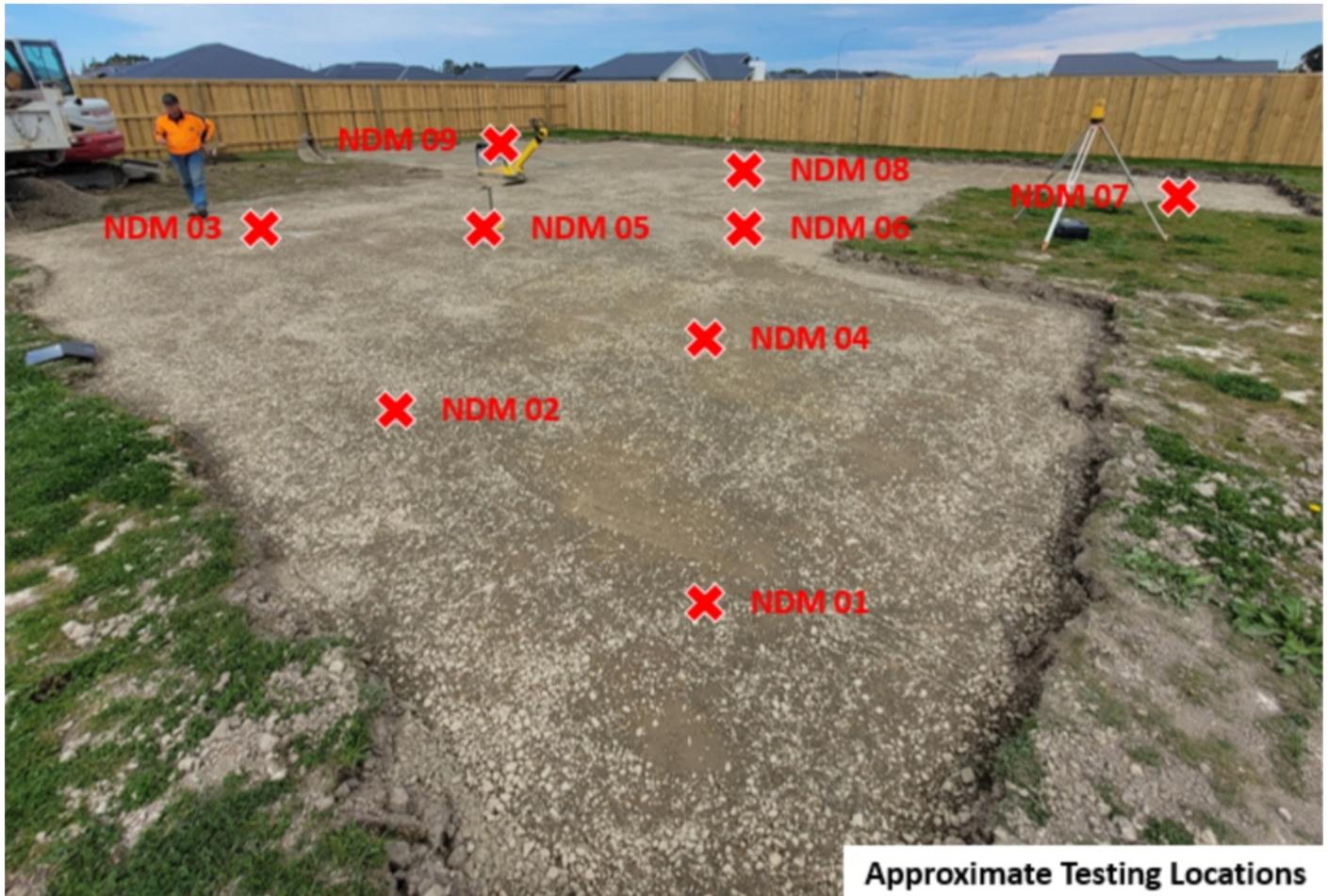
*Air void calculations are excluded from IANZ endorsement

Laboratory Technician

Approved Signatory

SITE PLAN

Lab Job No: 8409-013
Client: Norton Excavation and Drainage
Job: Compaction Testing
Location: 175 Townsend Road, Rangiora
Client Ref. No.: -
Report No.: CHC8409-013-R001



From: Tom Watanabe <Tom.Watanabe@hfc.co.nz>

Sent: Friday, 25 October 2024 6:27 am

To: John Baddock <john.baddock@outlook.com>

Subject: RE: BC 230758

Hi John

Thanks for the information. We have reviewed the NDT testing results by GEO Civil and confirm that the satisfactory compaction (min 95%) is achieved.

We do not normally include this in our PS4 as it is not specific engineering design (SED) element that we inspected.

Can you please forward this email to the council as our reply ?

Any issues, please let us know.

Kind Regards,

TOM WATANABE | TEAM LEAD | ASSOCIATE DIRECTOR

On behalf of HFC: STRUCTURES LTD

| **DDI** 03 968 7158 | **M** 021 278 1561

Unit 4- 295 Blenheim Road, Upper Riccarton, Chch

PO Box 28006, Beckenham, Chch | www.hfc.co.nz



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P Please consider the environment before printing this e-mail

KAIAPOI ALUMINIUM JOINERY

1261 Main North Rd, Kainga, Christchurch



Statement of Thermal Performance for Windows & Doors

Date of Issue: 20/10/2023

Name, Address, and Email contact of Manufacturer / Supplier:

Kaiapoi Aluminium Joinery Ltd

1261 Main North Road, Kainga, Christchurch

sales@kaj.co.nz

Project / Site Details - including Address:

Lot 115 Townsend, Rangiora

Consent No: BC230758

Climate Zone 5

I / We declare that the following;



1) Glazed windows & doors, **and/or**



2) Opaque doors, **and/or**



3) Skylights.

supplied by us to this Project / Site, achieve a **Construction R-value** as stated below,

Construction R-value = R 0.50 m².K/W

(Note – The Construction R-value shall be no less than the value specified within the Consent listed above.)

This R-value has been determined using one of the following methods,



i) The Schedule Method and/or Selected from Table E.1.1.1, **or**



ii) Derived using a WEERS calculator, **or**



iii) Calculated in accordance with H1/ . (Confirm H1/AS2, VM1, or VM2)

(Supporting documentation for methods will be supplied on request.)

Name Alison Hamblin

Signature

Window & Glass Association Membership No.

282

Copy of Table E.1.1.1 from H1/AS1, Fifth Edition, Amendment 1...

TABLE E.1.1.1: Construction R-values (R_{Window}) of selected generic vertical windows and doors							
Paragraph E.1.1.1 a)							
Type of glazing	$U_g^{(1)}$	Spacer type ⁽²⁾	Example IGU ^{(3), (4)} (informative)	R_{Window} ($\text{m}^2\cdot\text{K}/\text{W}$) for different frames			
				Aluminium frame	Thermally broken aluminium frame	uPVC frame	Timber frame
Double pane	2.63	Aluminium	Glass: Clear/Clear Gas: Air	R0.26	R0.32	R0.40	R0.44
	1.90	Aluminium	Glass: Low E_g /Clear Gas: Argon	R0.30	R0.39	R0.50	R0.56
	1.60	Thermally improved	Glass: Low E_g /Clear Gas: Argon	R0.33	R0.42	R0.56	R0.63
	1.30	Thermally improved	Glass: Low E_g /Clear Gas: Argon	R0.35	R0.46	R0.63	R0.71
	1.10	Thermally improved	Glass: Low E_g /Clear Gas: Argon	R0.37	R0.50	R0.69	R0.77
	0.90	Thermally improved	Glass: Low E_g /Clear Gas: Krypton	R0.40	R0.54	R0.76	R0.85
Triple pane	1.89	Thermally improved	Glass: Clear/Clear/Clear Gas: Air		R0.38	R0.50	R0.56
	1.20	Thermally improved	Glass: Low E_g /Clear/Clear Gas: Argon		R0.48	R0.66	R0.74
	1.00	Thermally improved	Glass: Low E_g /Clear/Clear Gas: Argon		R0.52	R0.73	R0.81
	0.70	Thermally improved	Glass: Low E_g /Low E_g /Clear Gas: Argon		R0.59	R0.86	R0.95
	0.60	Thermally improved	Glass: Low E_g /Low E_g /Clear Gas: Argon		R0.62	R0.91	R1.01
Notes:							
(1) Thermal transmittance of the glazing determined using BS EN 673. Where the U_g -value of the proposed glazing is different from the values included in the table, R_{Window} shall be determined based on the nearest U_g -value in the table that is greater than the U_g -value of the proposed glazing.							
(2) 'Thermally improved' refers to a spacer that meets the definition of thermally improved spacer in ISO 10077-1 Annex G.							
(3) The examples provided are informative descriptions only of the <i>insulated glazing unit (IGU)</i> types that might be used to deliver the nominated U_g -values. When using this table, R_{Window} shall be determined based on U_g , spacer type and frame type.							
(4) The properties of each of the glass panes within the IGU are provided and separated by '/'. 'Clear' refers to clear float glass. 'Low E_g ', 'Low E_g ', 'Low E_g ' and 'Low E_g ' refer to glass with low emissivity coatings at different performance levels.							

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Form 6A:

Memorandum from licensed building practitioner (record of building work)

SECTION 88, BUILDING ACT 2004

The building

Street address of building:

175 TOWNSEND RD RANGIORA

The project

Building consent number:

BC 230758

The owner

Name of owner:

HAYDON BADDOCK

(Include preferred form of address, eg. Mr, Miss, Dr, if an individual)

Mailing address:

175 TOWNSEND RD RANGIORA

Street address/registered office:

Telephone number:

0277570024

Mobile number:

Email address:

hbaddock@hotmail.co.nz

Record of work that is restricted building work

Work that is restricted building work ✓	Description of restricted building work (If necessary, describe the restricted building work)	State whether carried out or supervised (Specify whether you carried out the restricted building work or supervised someone else carrying out the restricted building work)
Primary structure		
Foundations and subfloor framing ☒	RAFT FOUNDATION	CARRIED OUT
Walls ☒	ERECTED, BRACED, FIXED 7mm PLY	CARRIED OUT
Roof ☐		
Columns and beams ☒	POST AND LINTELS AT LAUNDRY DOOR	CARRIED OUT
Bracing ☐		
Other ☐		

External moisture management systems

Damp proofing	☐		
Roof cladding or roof cladding system	☐		
Ventilation system (for example, subfloor or cavity)	☐		
Wall cladding or wall cladding system	☐		
Waterproofing	☐		
Other	☐		

Note: Continue on another page if necessary.

Issued by

JOHN RICHARD BADDOCK
(Name of licensed building practitioner who is licensed to carry out or supervise restricted building work)

Licensed building practitioner number:

LBP 100213
(If applicable)

Class(es) licensed in:

CARPENTRY

Plumbers, Gasfitters and Drainlayers Board registration number:

(If applicable)

Mailing address:

272 WHITES RD OHOKA

Street address/registered office:

Telephone number:

3120577 Mobile number: **0212392678**

Facsimile:

Email address:

john.baddock@outlook.com

Website:

(If applicable)**Declaration**

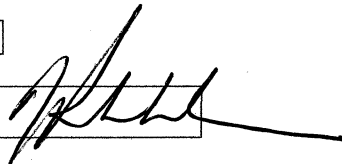
I, **JOHN BADDOCK**

(name of licensed building practitioner), carried out or supervised the restricted building work recorded on this form:

Date:

11 **10** **24**
DAY MONTH YEAR

Signature:



Memorandum from licensed building practitioner: Record of building work

Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING

Street address: **175 Townsend Road**

Suburb:

Town/City: **Rangiora**

Postcode:

THE PROJECT

Building consent number: **230758**

THE OWNER(S)

Name(s): **John Baddock**

Mailing address:

Suburb:

PO Box/Private Bag:

Town/City:

Postcode:

Phone number: **021 239 2678**

Email address: **john.baddock@outlook.com**

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

PRIMARY STRUCTURE

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick ☒	If necessary, describe the restricted building work.	Tick ☒ whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Foundations and subfloor framing ☐		☐ Carried out ☐ Supervised
Walls ☐		☐ Carried out ☐ Supervised
Roof ☐		☐ Carried out ☐ Supervised
Columns and beams ☐		☐ Carried out ☐ Supervised
Bracing ☐		☐ Carried out ☐ Supervised
Other ☐		☐ Carried out ☐ Supervised

EXTERNAL MOISTURE MANAGEMENT SYSTEMS

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick ☒	If necessary, describe the restricted building work.	Tick ☒ whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Damp proofing ☐		☐ Carried out ☐ Supervised
Roof cladding or roof cladding system ☐		☐ Carried out ☐ Supervised
Ventilation system (for example, subfloor or cavity) ☐		☐ Carried out ☐ Supervised
Wall cladding or wall cladding system ☒	CladX 50mm AAC Panel Cladding System	☒ Carried out ☐ Supervised
Waterproofing ☐		☐ Carried out ☐ Supervised
Other ☐		☐ Carried out ☐ Supervised

ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.

Name: **Mark Laffey**

LBP number: **126073**

Class(es) licensed in:

Exterior Plastering E2

Plumbers, Gasfitters and Drainlayers registration number (if applicable):

Mailing address (if different from below):

Street address/Registered office: **115 Rossiters Road, RD2**

Suburb: **Rangiora**

Town/City:

PO Box/Private Bag

Postcode: **7472**

Phone number:

Mobile: **0276001234**

After hours:

Fax:

Email address: **mark@cladx.co.nz**

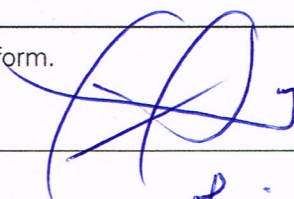
Website: **www.cladx.co.nz**

DECLARATION

I, **Mark Laffey**, carried out or supervised the restricted building work recorded on this form.

Signature: _____

Date: _____


8.10.2024

Form 6A

Memorandum from licensed building practitioner: Record of building work

Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING

Street address: 175 Townsend Road

Suburb: Rangiora

Town/City: Christchurch

Postcode:

THE PROJECT

Building consent number: BC230758

THE OWNER(S)

Name(s):

Mailing address:

Suburb:

PO Box/Private Bag:

Town/City:

Postcode:

Phone number:

Email address:

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

PRIMARY STRUCTURE

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick ☒	If necessary, describe the restricted building work.	Tick ☒ whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Foundations and subfloor framing ☐		☐ Carried out ☐ Supervised
Walls ☐		☐ Carried out ☐ Supervised
Roof ☐		☐ Carried out ☐ Supervised
Columns and beams ☐		☐ Carried out ☐ Supervised
Bracing ☐		☐ Carried out ☐ Supervised
Other ☐		☐ Carried out ☐ Supervised

EXTERNAL MOISTURE MANAGEMENT SYSTEMS

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick ☒	If necessary, describe the restricted building work.	Tick ☒ whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Damp proofing ☐		☐ Carried out ☐ Supervised
Roof cladding or roof cladding system ☐		☐ Carried out ☐ Supervised
Ventilation system (for example, subfloor or cavity) ☐		☐ Carried out ☐ Supervised
Wall cladding or wall cladding system ☐		☐ Carried out ☐ Supervised
Waterproofing ☐		☐ Carried out ☐ Supervised
Other ☐		☐ Carried out ☐ Supervised

ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.

Name:

LBP number:

Class(es) licensed in:

Plumbers, Gasfitters and Drainlayers registration number (if applicable):

Mailing address (if different from below):

Street address/Registered office:

Suburb:

Town/City:

PO Box/Private Bag

Postcode:

Phone number:

Mobile:

After hours:

Fax:

Email address:

Website:

DECLARATION

I 29/02/2024 carried out or supervised the restricted building work recorded on this form.

Signature:



Date:



**LICENSED
BUILDING
PRACTITIONERS**
Building confidence

MEMORANDUM FROM LICENSED BUILDING PRACTITIONER: RECORD OF BUILDING WORK

Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING

Street address: 175 TOWNSEND ROAD

Suburb:

Town/city: RANGIORA

Postcode: 7400

THE PROJECT

Building consent number: 2 3 0 7 5 8

THE OWNERS

Name(s): HAYDON BADDOCK

Mailing address: 175 TOWNSEND ROAD

Suburb:

PO Box/Private Bag:

Town/City: RANGIORA

Postcode: 7400

Phone:

Email address:

I, the Licensed Building Practitioner, certify that the information provided in this form is true and correct to the best of my knowledge and belief.

I, the owner, certify that the information provided in this form is true and correct to the best of my knowledge and belief.

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

PRIMARY STRUCTURE:

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick	If necessary, describe the restricted building work	Tick whether you carried out the restricted building work or supervised someone else carrying out the restricted building work
☒ Foundations and subfloor framing		☐ Carried out ☒ Supervised
☒ Walls		☐ Carried out ☒ Supervised
☒ Roof		☐ Carried out ☒ Supervised
☐ Columns and beams		☐ Carried out ☐ Supervised
☒ Bracing		☐ Carried out ☒ Supervised
☐ Other		☐ Carried out ☐ Supervised

EXTERNAL MOISTURE MANAGEMENT SYSTEMS:

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick	If necessary, describe the restricted building work	Tick whether you carried out the restricted building work or supervised someone else carrying out the restricted building work
☐ Damp proofing		☐ Carried out ☐ Supervised
☐ Roof cladding or roof cladding system		☐ Carried out ☐ Supervised
☐ Ventilation system (for example, subfloor or cavity)		☐ Carried out ☐ Supervised
☒ Wall cladding or wall cladding system	LINEA OVER CAVITY BATTENS OVER BUILDING WRAP OVER BRACING PLY	☒ Carried out ☐ Supervised
☒ Exterior joinery (windows and doors)		☒ Carried out ☐ Supervised
☐ Waterproofing		☐ Carried out ☐ Supervised
☐ Other		☐ Carried out ☐ Supervised

ISSUED BY

I am providing my contact details as a licensed building practitioner who is licensed to carry out or supervise work that is restricted building work.

Name: **GRANT SMITH**

LBP or Registration number: **102993**

Class(es) licensed in: **CARPENTRY**

Plumbers, Gasfitters and Drainlayers registration number (if applicable):

Mailing address (if different from below):

Street address/Registered office: **10 GOODWIN STREET**

Suburb:

Town/City: **RANGIORA**

PO Box/Private Bag:

Postcode: **7400**

Phone:

Mobile: **0 2 7 4 3 8 3 7 3 6**

After hours:

Fax:

Email address: **grunTERS.rg@extra.co.nz**

Website:

DECLARATION

I, **GRANT SMITH**
restricted building work recorded on this form.

carried out or supervised the

Applicant's signature



Date **1 0 / 1 0 / 2 4**
day month year



Producer Statement PS3

Issued by: CladX NZ Ltd to the Waimakariri District Council.

SECTION 1: Builder/Owner

Builder/Owner : John Baddock

Project Address: 175 Townsend Road, Rangiora.....

Scope of work covered by statement: Installation of AAC panel cladding. Exterior plastering.

System / Product used: Clad X / Watty! Granosite.

As specified in the attached particulars of Building Consent Number: 230758 and its attached conditions and am satisfied on reasonable grounds that the building work specified above has been completed to the extent required by that Building Consent and complies with the Building Consent.

Specific reference to the Building Code:

What clauses of the Building Code are covered by the Producer Statement?

(Circle applicable clauses)

B1	B2	C1	C2	C3	C4	D1	D2	E1	E2
E3	F1	F2	F3	F4	F5	F6	F7	F8	G1
G2	G3	G4	G5	G6	G7	G8	G9	G10	G11
G12	G13	G14	G15	H1					

I understand that this Producer Statement, if accepted, will be relied upon by the Waimakariri District Council for the purpose of establishing compliance with the Building Consent.

SECTION 2: CONSTRUCTOR'S DETAILS

Name: CladX NZ Ltd (Mark Laffey)

Address: 115 Rossiters Road, RD2 Rangiora.

Phone: 0276001234

Email: mark@cladx.co.nz

LBP Number: 126073

Date: 08/10/2024

Signature: